



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Dec 6, 2023, 11:40AM EST

Parcel Number: (Include ALL parcels)	ED-F0081-1
Nearest property address to the project site:	Street Address: 411 Destiny Drive City: De Pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Number of outlots in the CSM:	
De Pere Zoning Districts:	PI-1
Number of lots in the CSM:	
Number of lots in the Final Plat: (PLEASE USE NUMERALS ONLY.)	
Number of outlots in the Final Plat: (PLEASE USE NUMERALS ONLY.)	
Existing Site Land Uses:	Commercial
Proposed Site Land Uses:	Commercial
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a pre-consultation meeting?	No
Property Owner:	First Name: Caleb Last Name: Hayes
Is the property owner's address the same as the nearest property address?	Yes
Property Owner's Phone Number:	920-309-1037
Property Owner's Email Address:	caleb@calebhayes.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's	First Name: Mathew

Name:		Last Name: Litchfield
Authorized Representative's Business Name:		Mach IV Engineering & Surveying, LLC
Authorized Representative's Phone Number:		920-569-5765
Authorized Representative's Email Address:		mlitchfield@mach-iv.com
Please attach a PDF copy of the site plan.		2109-01-23 Eng and Arch.pdf
Would you like a basic checklist of information to include in the site plan?		Yes
How do you plan on paying for your application?		Mail a check
Total Due:		\$350.00
Signature Data	First Name: Mathew	
	Last Name: Litchfield	
	Email Address: mlitchfield@mach-iv.com	
		
		Signed at: December 6, 2023 11:39am America/New_York
User's Session Information		IP Address: 69.129.142.130 Referrer URL:

ITEMS THAT NEED TO BE ADDRESSED ON THIS SITE PLAN – 10 May 2024

Health Related Comments:

Unnumbered Sheet: The site plan includes a kitchen detail, but the kitchen detail does not include a corresponding equipment schedule. Provide a corresponding equipment schedule for review by Health Department.

Planning Related Comments:

Sheet 2.0: In the Site Statistics, correct the zoning district to be C District.

Sheet A2.0: Identify the colors for the façade materials. The 4" stack bond, 4" face brick, and asphalt shingles identify "...to match existing", but there is no reference about what the existing colors are.

Sheet A2.0: The windows are labeled as "A" and "B", but there is no window and door schedule in the site plan. Add window and door schedules. Include the percentage transmittance factor, in compliance with Zoning Ordinance 14-161(14).

Show locations and screening details, including colors, materials, and detail elevations, all mechanical equipment and appurtenances on building facades, rooftops, and on the ground.

Identify the location for refuse and recyclable material storage. If the storage is inside the building, place a statement that clearly indicates that on the site plan.

Add a statement to the Lighting Plan that confirms that all outdoor lighting complies with Zoning Ordinance 14-95 for light trespass, dark sky compliance, light colors, and fixture heights.

Photometric Site Plan: Provide a statement that indicates that outdoor lighting requirements are met, per Zoning Ordinance 14-95, including light trespass, neon lighting, dark sky compliant lighting, light color standards, mounted fixture heights, and prohibited temporary lighting.

Sheet L1.0: No WDNR recommended planting plans are included in the site plan. Include planting plans to ensure proper procedures are followed.

Items to address prior to requesting occupancy:

Per the authorized representative, there is no signage and no menu board, so no sign permits will be applied for. If this has changed, the signage must be added as part of the site plan for approval.

After the exterior lighting is installed, provide a statement from the lighting installer that the light spill from the property does not exceed the approved photometric plan.

After landscaping is installed, provide a statement from the landscaper that verifies that all landscaping has been installed according to the approved landscaping plan to minimize delays or violations related to this topic.

COVER SHEET

LEGAL DESCRIPTION

ALL OF LOT 1 OF VOLUME 39, CERTIFIED SURVEY MAPS, PAGE 175, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 23, T23N-R20E, CITY OF DE PERE, BROWN COUNTY, WISCONSIN

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY & GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C5.0 EROSION CONTROL & SITE DETAILS
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

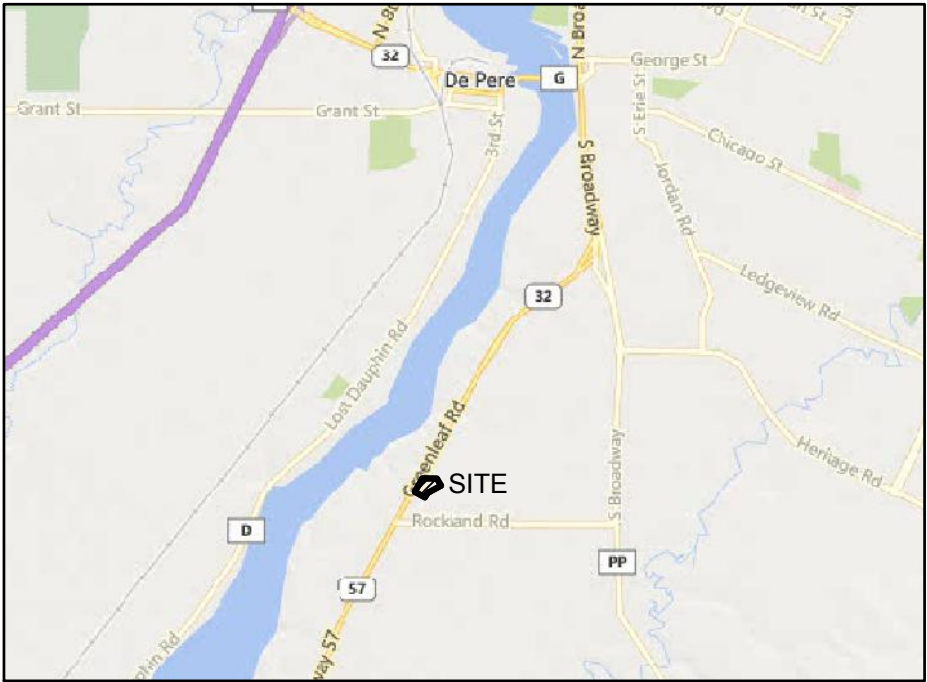
- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC NOVEMBER 6 & 7, 2023.
- SURVEY VERTICAL DATUM IS NAVD88.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C4.0 AND C5.0.
- FOR NOTES SHOWN THUS, "Ⓢ", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

ABBREVIATIONS

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB		ASPHALT	
LIGHT POLE		BUILDING OVERHANG		CONCRETE	
POWER POLE		UNDERGROUND CABLE		GRAVEL	
GAS METER		UNDERGROUND WIRE		LANDSCAPE WOOD MULCH	
GAS VALVE		UNDERGROUND ELECTRIC		LANDSCAPE STONE MULCH	
BOLLARD		GAS			
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CATCH BASIN	OD	OUTSIDE DIAMETER
CI	CURB INLET	OHP	OVER HEAD POWER
CMP	CORRUGATED METAL PIPE	OL	OUTLOT
CO	CLEAN OUT	PSI	POUNDS PER SQUARE INCH
CSM	CERTIFIED SURVEY MAP	PVC	POLYVINYL CHLORIDE
C.T.H	COUNTY TRUNK HIGHWAY	R	RADIUS
DIA	DIAMETER	RAD	RADIUS
DOT	DEPARTMENT OF TRANSPORTATION	RCP	REINFORCED CONCRETE PIPE
E	EAST	REQ	REQUIRED
EL	ELEVATION	S	SOUTH
FDM	FACILITIES DEVELOPMENT MANUAL	SA	SANITARY
FFE	FIRST FLOOR ELEVATION	SAN	SANITARY
FL	FLOW LINE	SCHD	SCHEDULE
FO	FIBER OPTIC	S.D.	SUMP DEPTH
FT	FEET	SQ	SQUARE
G	GAS	ST	STORM
G.F.E.	GROUND FLOOR ELEVATION	S.T.H.	STATE TRUNK HIGHWAY
GR	GRADE	STM	STORM
HDPE	HIGH DENSITY POLYETHYLENE	T	TELEPHONE
INL	INLET	T/C	TOP OF CURB
INV	INVERT	U.S.H.	UNITED STATES HIGHWAY
M	METER	V	VARIES
MAX	MAXIMUM	W	WEST
MH	MANHOLE	WAT	WATER
		WI	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION



LOCATION MAP

411 DESTINY DRIVE
DE PERE, WI 54115

NOT TO SCALE

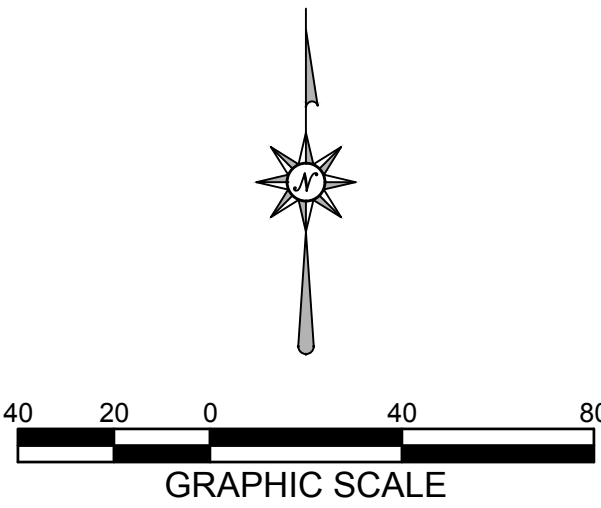
Proposed Building Addition For:

DESTINY CHURCH

DEPERE, WISCONSIN

DATE: 11/02/23
ARCH: K. SPERL
D. BY: RPH
JOB: 22-025
REV. CITY COMMENTS 2024-01-23

C
0.1



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CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

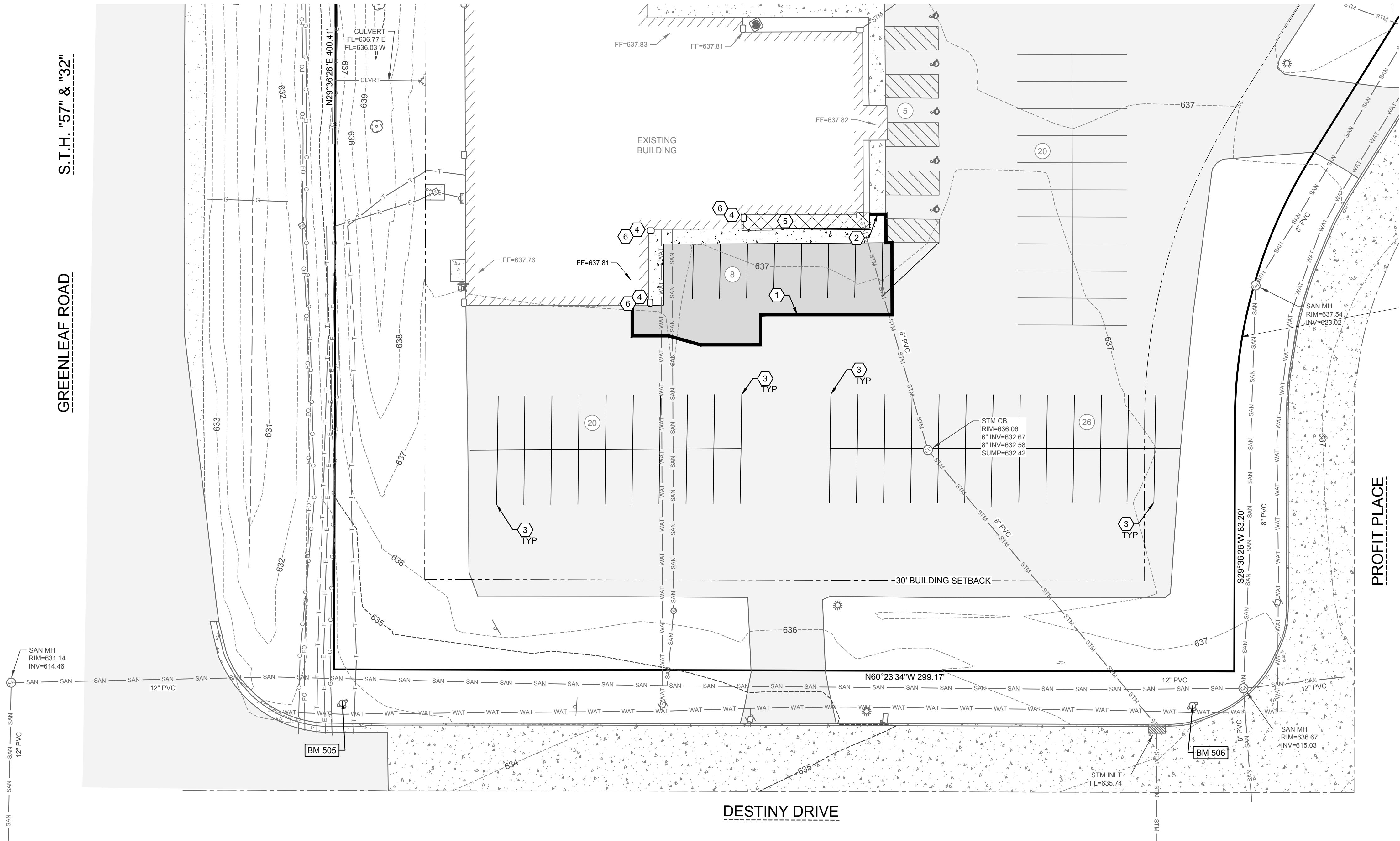
WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

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Project Number: 2109-01-23

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DEMOLITION PLAN

Benchmarks		
Label	Elevation	Description
BM 505	635.07	HYDRANT BURY BOLT
BM 506	637.96	HYDRANT BURY BOLT

SHEET KEY NOTES:

- 1 SAW CUT AND REMOVE ASPHALT
- 2 SAW CUT AND REMOVE CONCRETE
- 3 REMOVE PAINT STRIPE
- 4 REMOVE DOWNSPOUT WITH CONNECTION PIPE
- 5 REMOVE LANDSCAPE MATERIAL AND VEGETATION WITHIN LIMITS SHOWN
- 6 FIELD LOCATE AND REMOVE DOWNSPOUT CONNECTION LINE TO 6" STORM

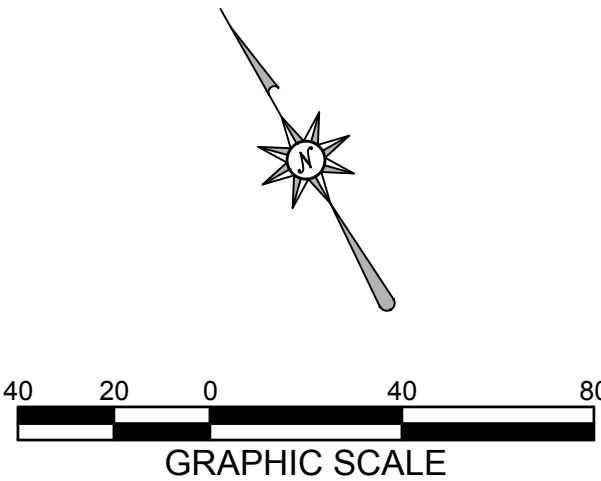
Proposed Building Addition For:

DESTINY CHURCH

DEPERE, WISCONSIN

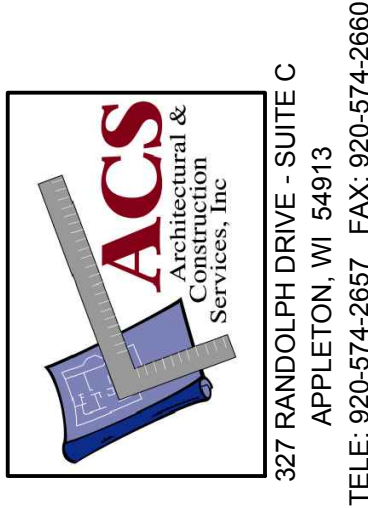
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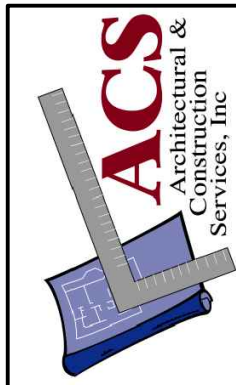
SITE PLAN

OWNER

DESTINY CHURCH INC.
411 DESTINY DRIVE
DE PERE, WI 54115

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT WITHIN THE GRADING LIMITS; MATCH EXISTING
② CONCRETE SIDEWALK; SEE DETAIL C SHEET C5.0
③ MONOLITHIC CURB; SEE DETAIL D SHEET C5.0
④ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
⑤ 4" WIDE PAINT STRIPE; MATCH EXISTING
⑥ PAINTED "DO NOT ENTER"
⑦ TRAFFIC DIRECTIONAL ARROW
⑧ WEDGE PROPOSED ASPHALT ON TOP OF EXISTING ASPHALT, OUTSIDE OF GRADING LIMITS
⑨ GRADING LIMITS
⑩ BOLLARD; SEE DETAIL E SHEET C5.0



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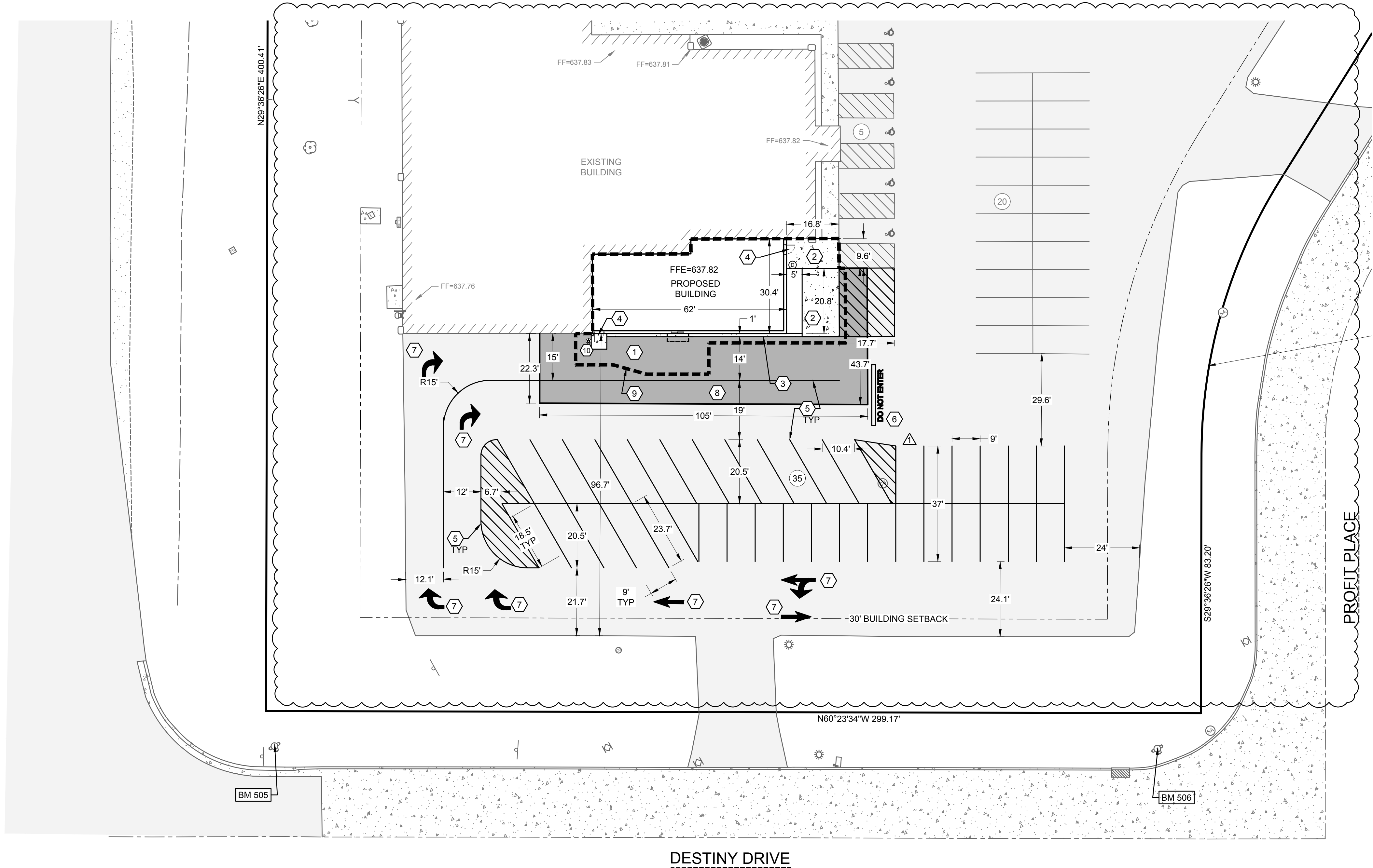
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DEPERE, WISCONSIN

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REV. CITY COMMENTS 2024-01-23

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2.0



DESTINY DRIVE

PROFIT PLACE

CONSTRUCTION CLASSIFICATION

TYPE VB - COMPLETELY SPRINKLERED PER NFPA 13

OCCUPANCY

"A-3" - ASSEMBLY (EXISTING BUILDING)
"B" - BUSINESS (PROPOSED ADDITION)

ALLOWABLE AREA

USE	PER CHAT 5.	PER CHAT 9.
"A-3" ASSEMBLY	18,000 S.F. / FLOOR	24,000 S.F. / FLOOR
"B" - BUSINESS	9,000 S.F. / FLOOR	36,000 S.F. / FLOOR
EXISTING "A-3" ASSEMBLY	13,829 S.F.	
PROPOSED "B" - BUSINESS	1,726 S.F.	
	15,555 S.F.	

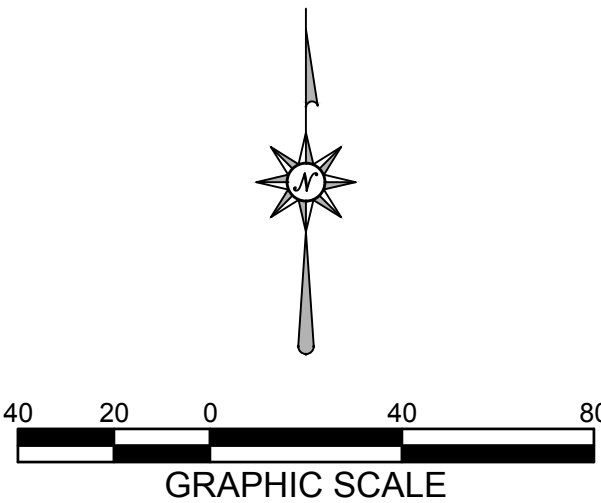
SITE STATISTICS

PARCEL ADDRESS: 411 DESTINY DRIVE
PARCEL NUMBER: ED-F0081-1
PARCEL SIZE: 194,608 SF (4.48 AC)
ZONING: PI-1: NEIGHBORHOOD PUBLIC INSTITUTIONAL DISTRICT

EXISTING SITE
GREEN SPACE: 115,481 SF (59.34%)
IMPERVIOUS AREA
BUILDING: 13,888 SF (7.14%)
PAVEMENT: 65,239 SF (33.52%)
TOTAL IMPERVIOUS: 79,127 SF (40.66%)

PROPOSED SITE
TOTAL DISTURBED AREA: 20% (38,922 SF)
GREEN SPACE REQUIRED: 115,386 SF (59.24%)
GREEN SPACE PROVIDED:
IMPERVIOUS AREA
BUILDING: 15,617 SF (8.02%)
PAVEMENT: 63,605 SF (32.74%)
TOTAL IMPERVIOUS: 79,222 SF (40.76%)

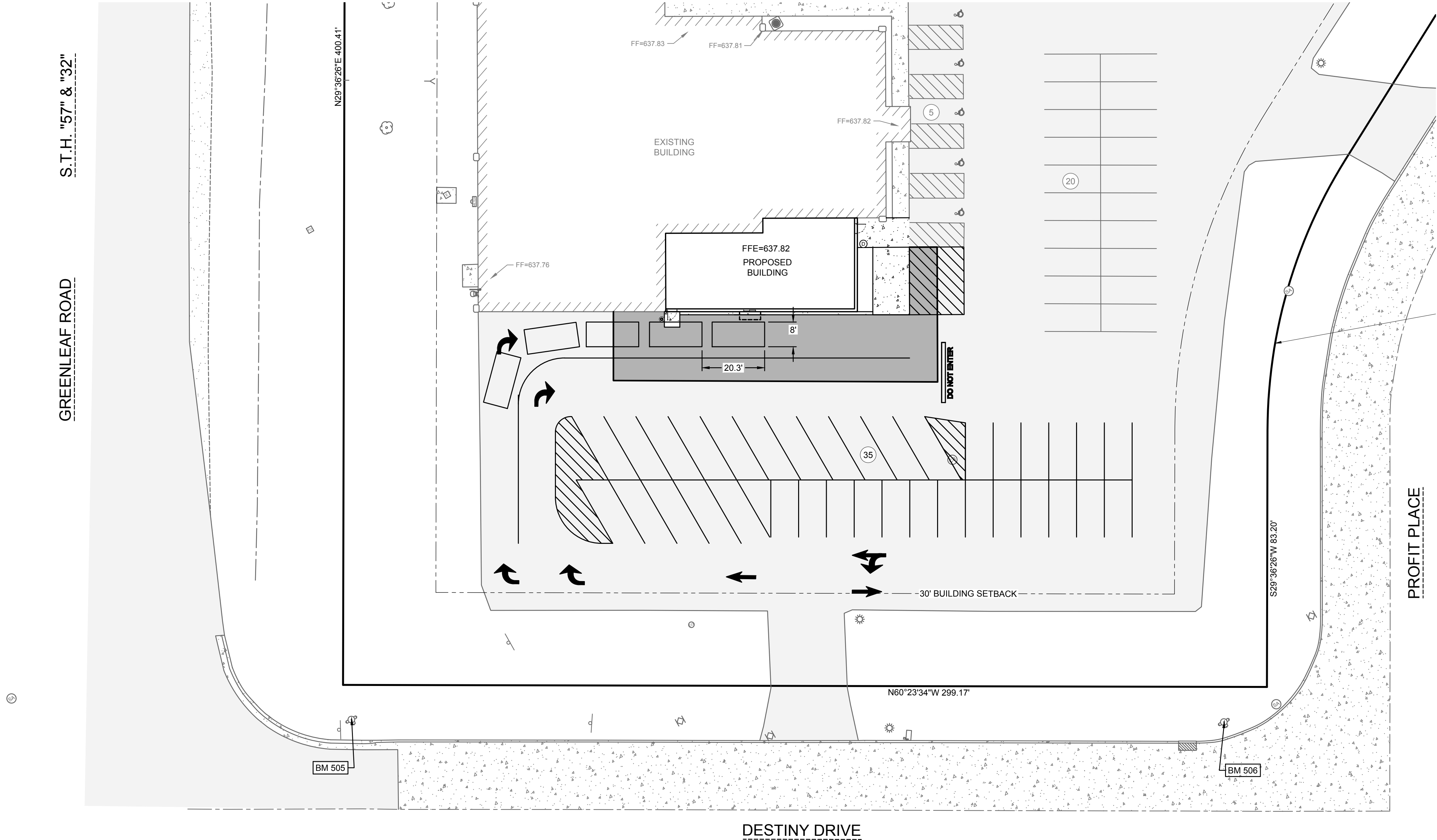
PARKING PROVIDED
PARKING SPACES REQ'D/CALCS: 1 STALL PER 200 SF
15,617 SF / 200 SF = 78 STALLS
PARKING SPACES PROVIDED: 121 STALLS; INCLUDES 5 ADA HANDIAP STALLS



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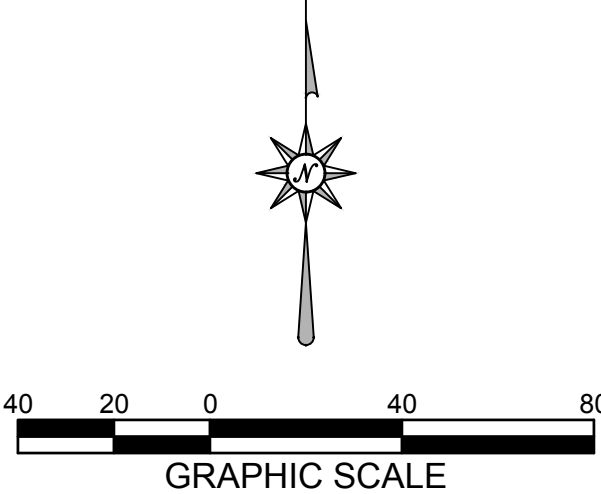
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VEHICLE QUEUE EXHIBIT

OWNER

DESTINY CHURCH INC.
411 DESTINY DRIVE
DE PERE, WI 54115



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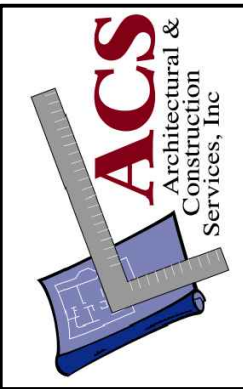
Proposed Building Addition For:

DESTINY CHURCH

DEPERE, WISCONSIN

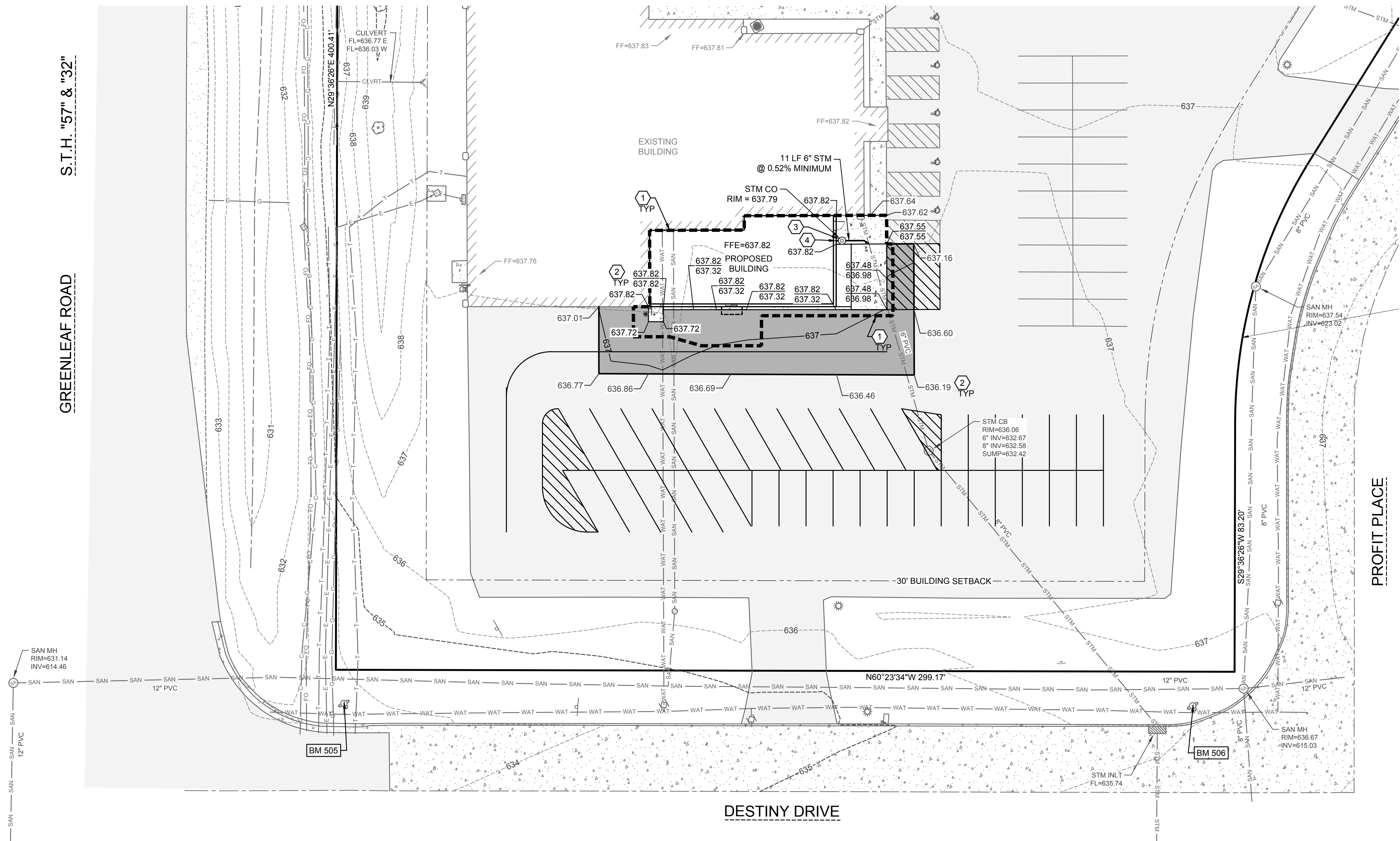
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D. BY: RPH
JOB: 22-025
REV.

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TELE: 920-574-2857 FAX: 920-574-2660

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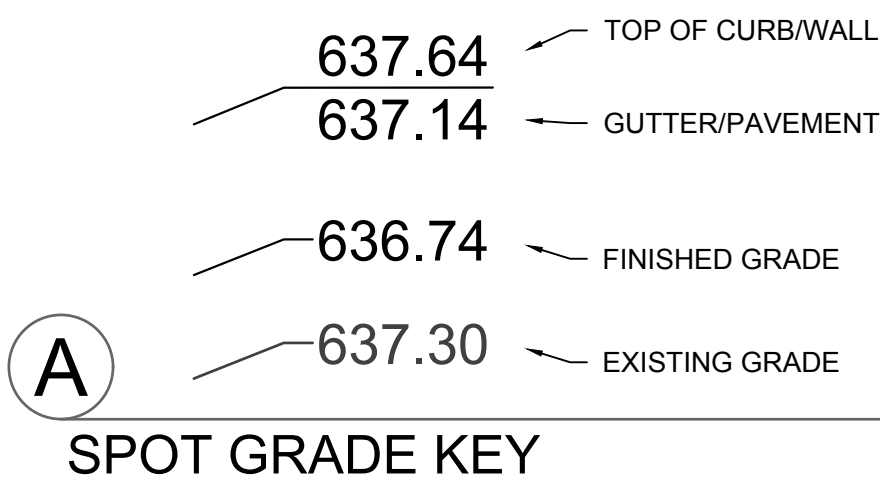


UTILITY & GRADING PLAN

Benchmarks		
Label	Elevation	Description
BM 505	635.07	HYDRANT BURY BOLT
BM 506	637.96	HYDRANT BURY BOLT

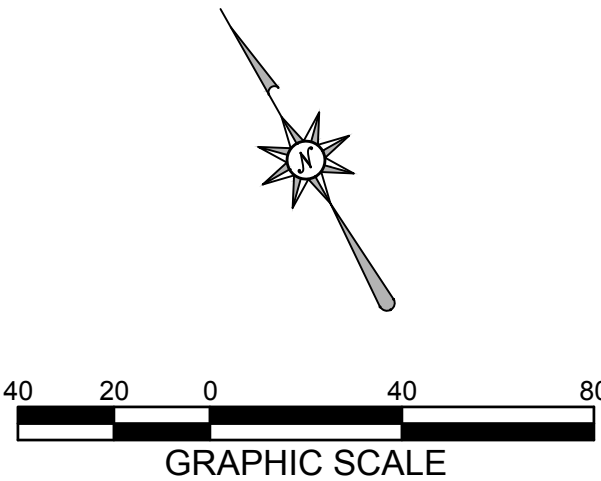
SHEET KEY NOTES:

- 1 CONSTRUCTION / GRADING LIMITS
- 2 SPOT GRADE; SEE DETAIL A THIS SHEET
- 3 CLEAN OUT; SEE DETAIL F SHEET C5.0
- 4 COORDINATE STORM CONNECTION WITH BUILDING PLUMBER



UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTMD-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.



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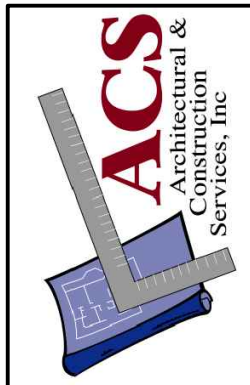
Proposed Building Addition For:

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DEPERE, WISCONSIN

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EROSION CONTROL PLAN

SHEET KEY NOTES:

- 1 INLET PROTECTION; SEE DETAIL A SHEET C5.0
- 2 STONE TRACKING PAD, REQUIRED IF EXCAVATION TO TAKE PLACE FROM UNPAVED AREA; IF NEEDED SEE DETAIL B SHEET C5.0

CONSTRUCTION SEQUENCE:

- SPRING 2024 TO SUMMER 2024
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
 - STRIP TOPSOIL WITHIN GRADING LIMITS
 - ROUGH GRADE SITE
 - CONSTRUCT BUILDING
 - INSTALL SITE UTILITIES
 - INSTALL BASE COURSE
 - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
 - INSTALL PAVEMENT
 - RE-SEED ANY UNVEGETATED AREAS
 - REMOVE EROSION CONTROL BMPs UPON SITE STABILIZATION

Proposed Building Addition For:

DESTINY CHURCH

DEPERE, WISCONSIN

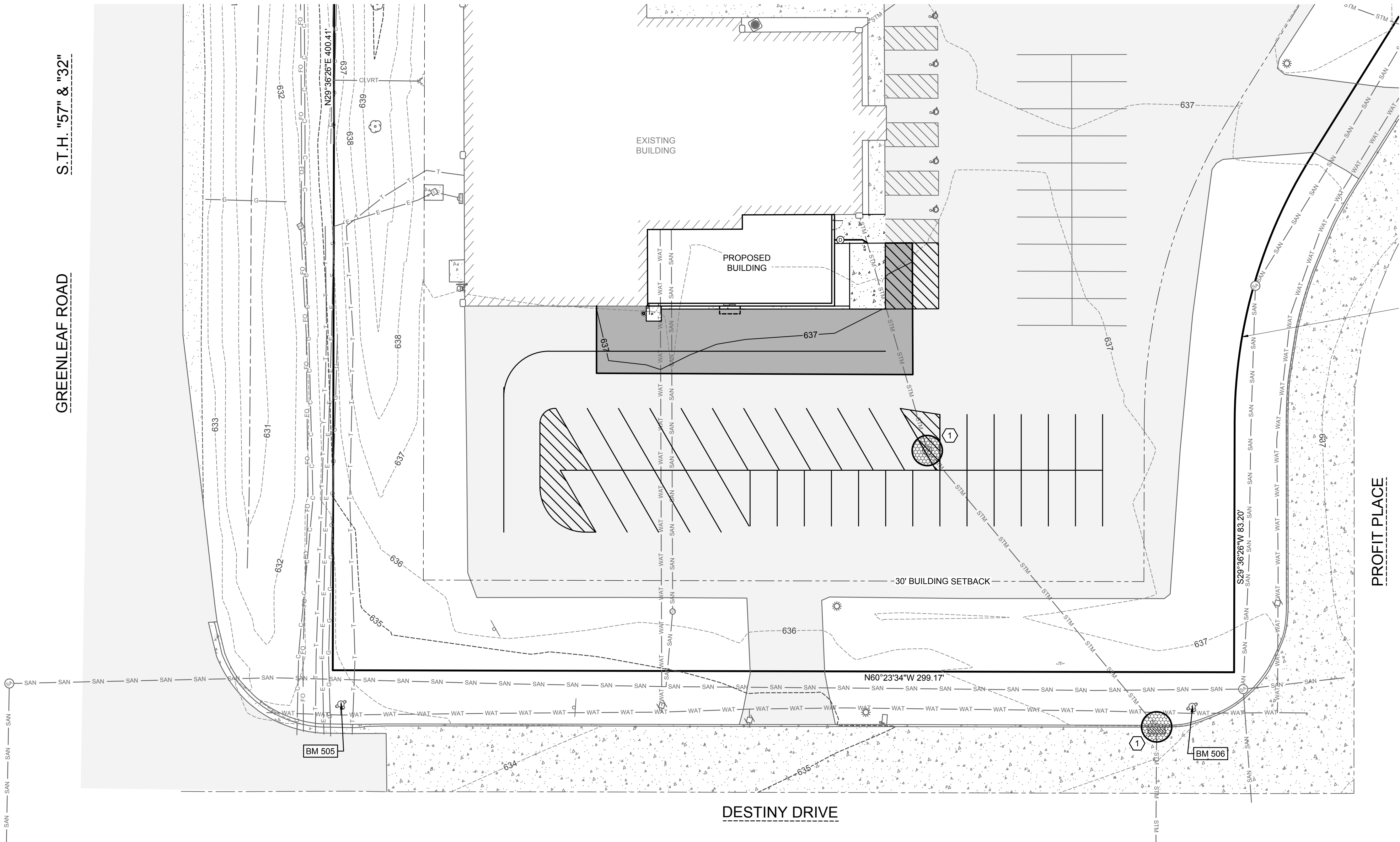
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D. BY: RPH
JOB: 22-025
REV.

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ACS

Architectural & Construction Services, Inc.

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TELE: 920-574-2657 FAX: 920-574-2660



PLANNED EROSION CONTROL PRACTICES:

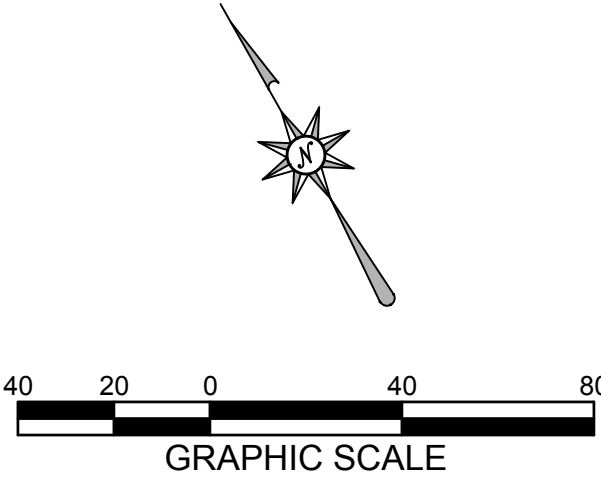
1. **SILT FENCE** (TECH. STANDARD 1056)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION** (TECH. STANDARD 1060)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL** (TECH. STANDARD 1068)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS** (TECH. STANDARD 1053)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING** (TECH. STANDARD 1061)
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/4 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.



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EROSION CONTROL & SITE DETAILS

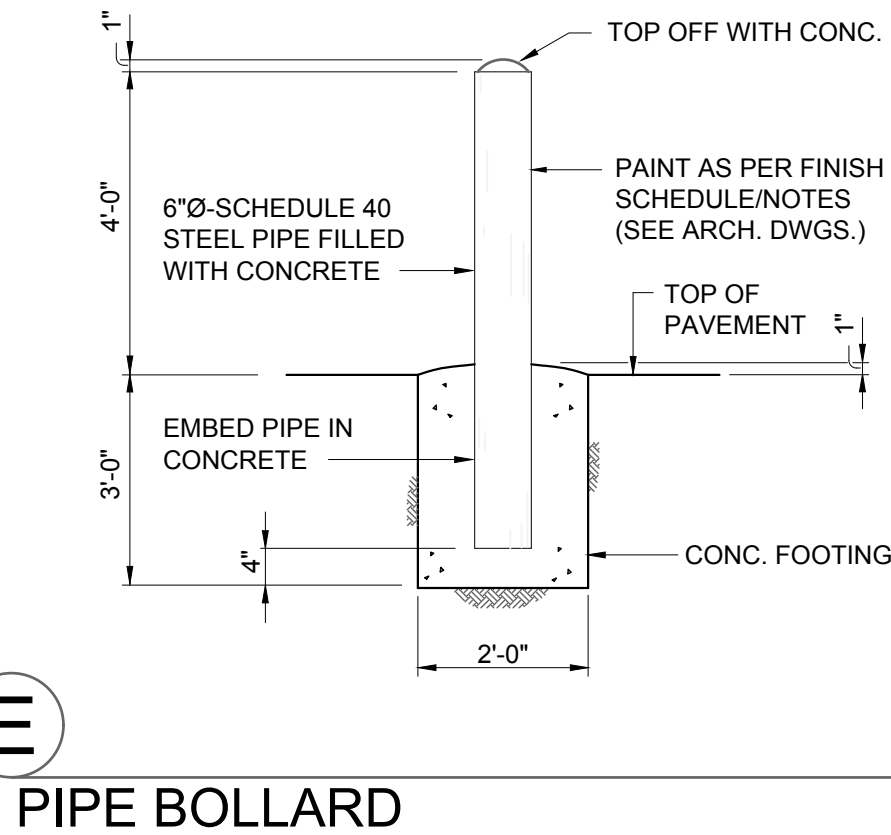
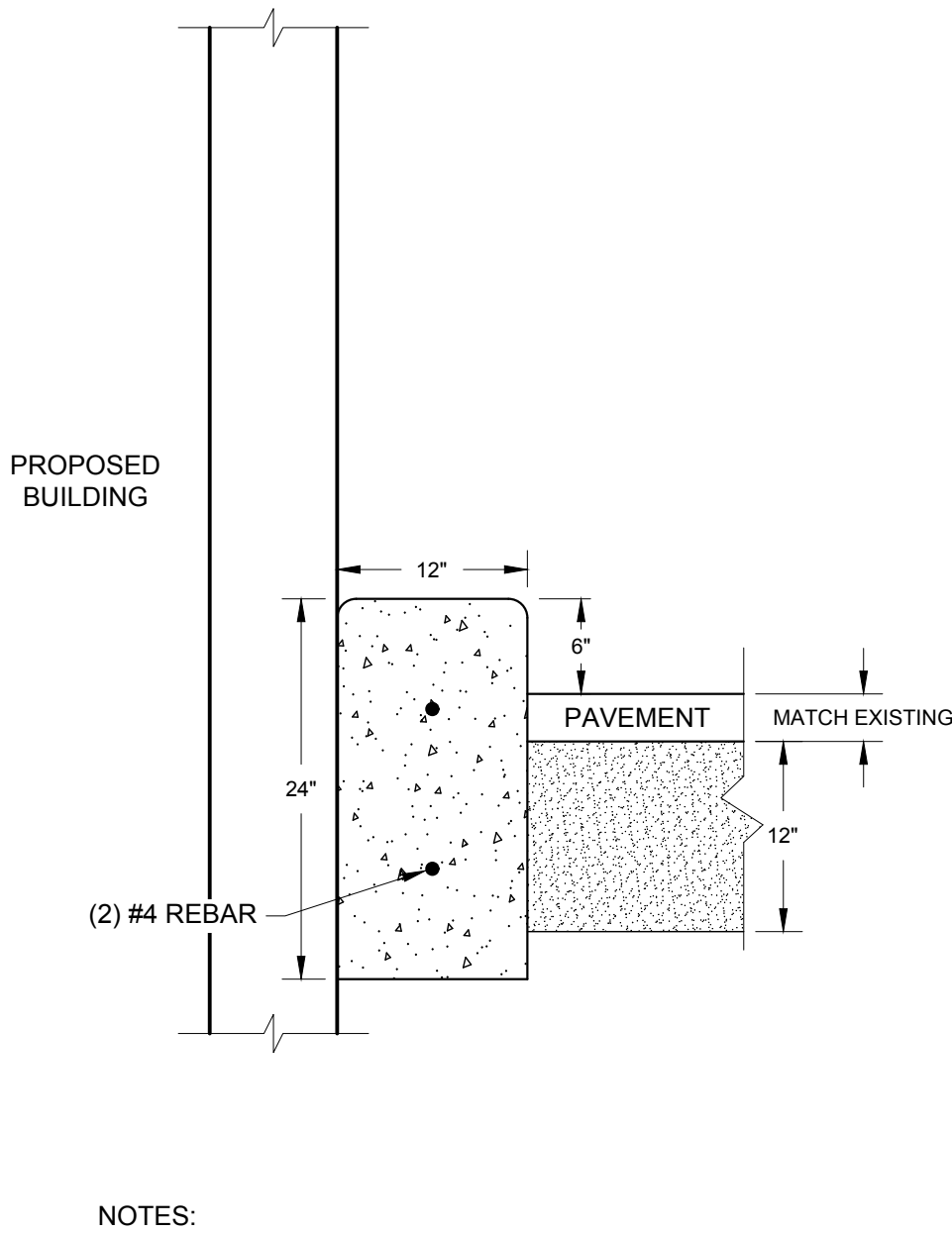
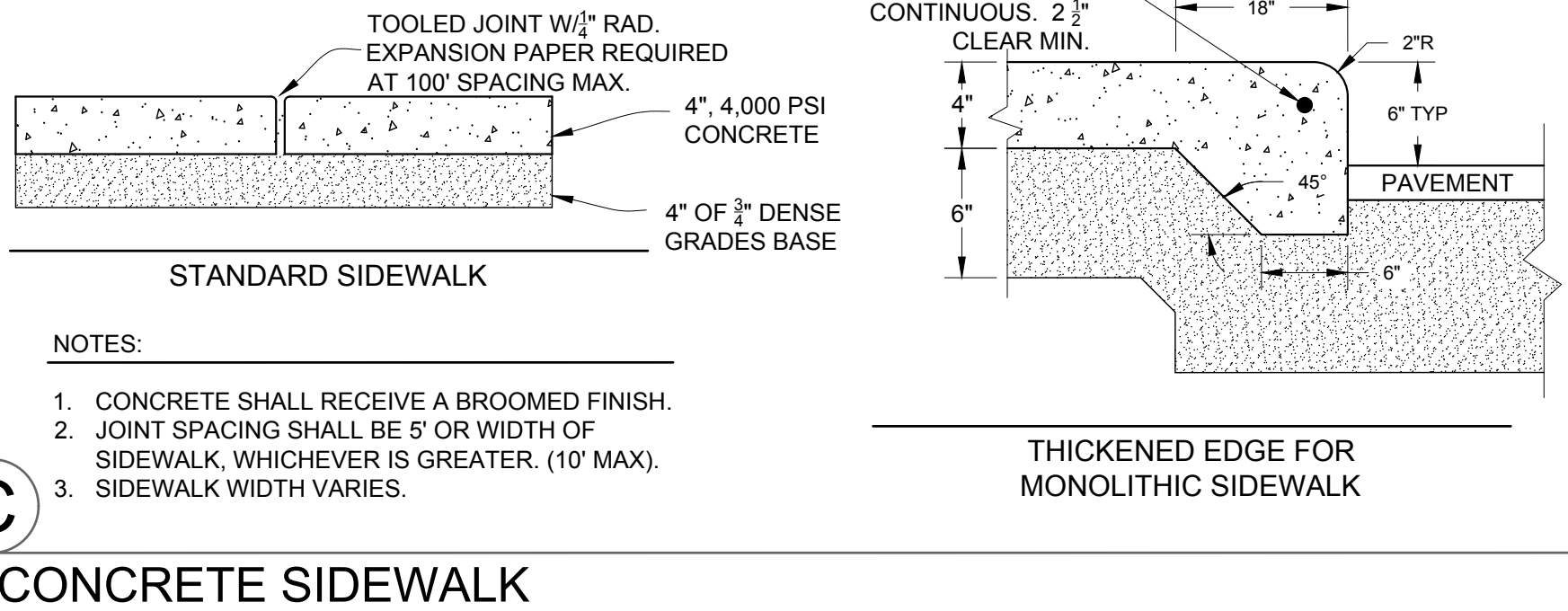
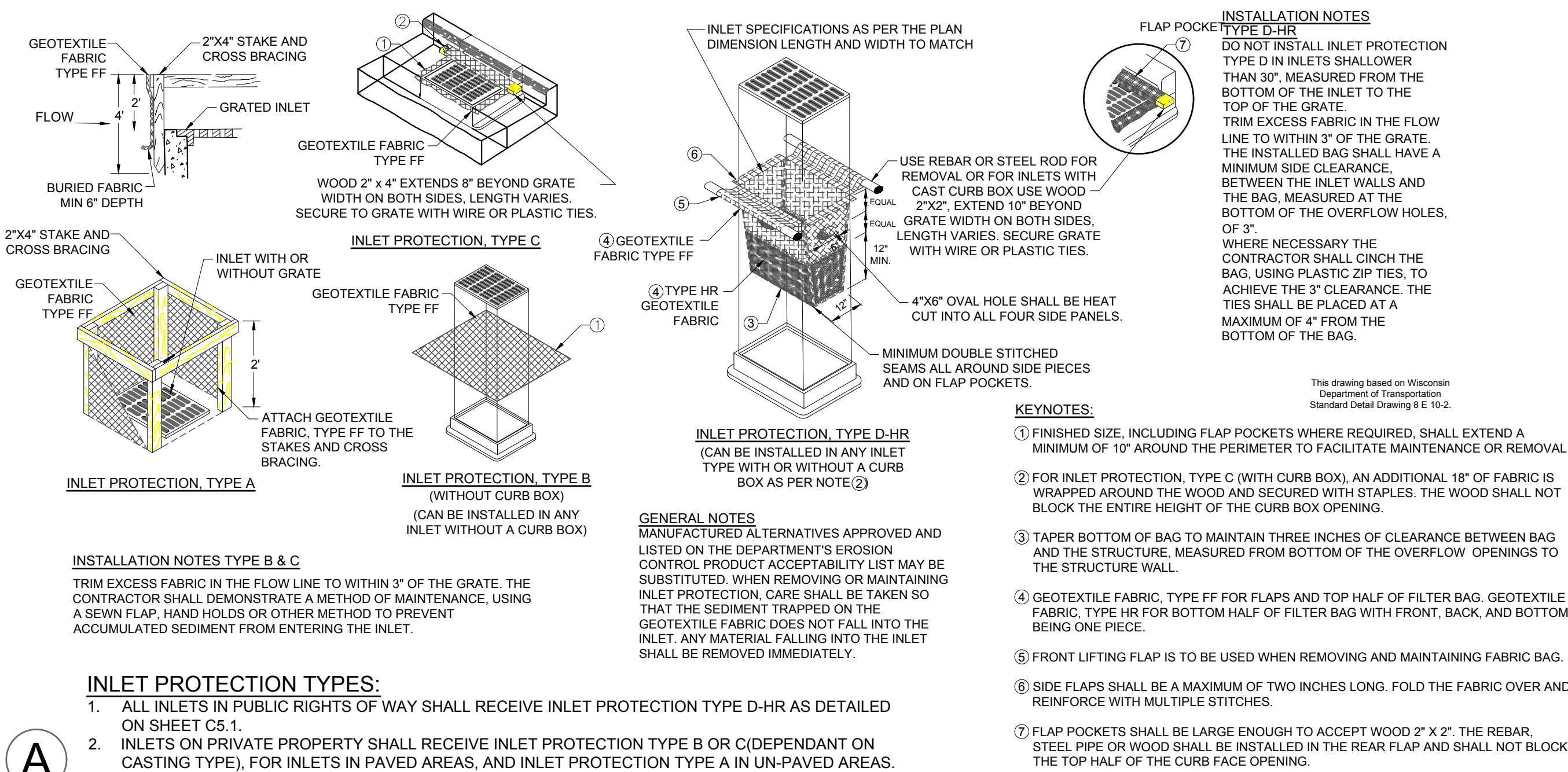
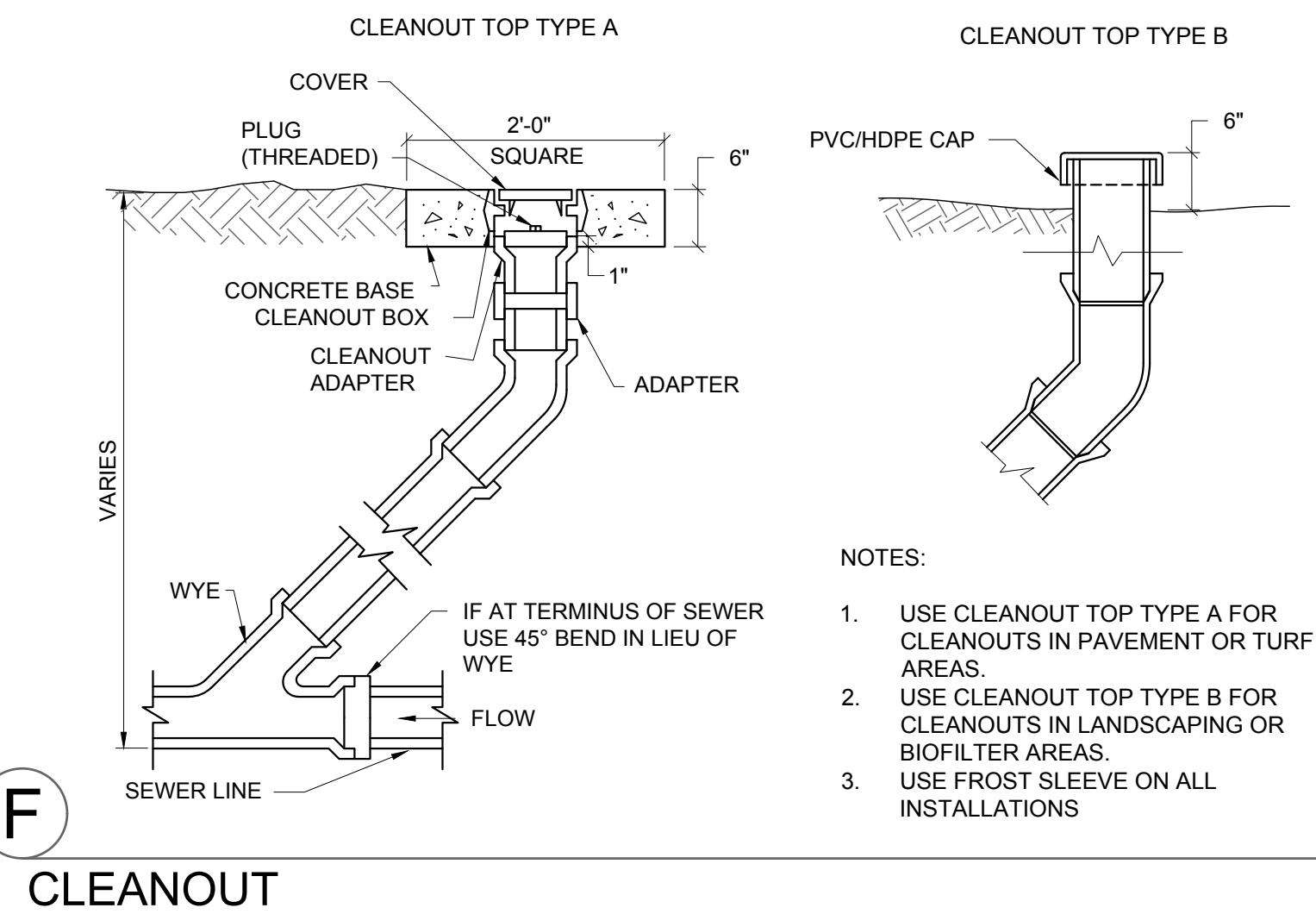
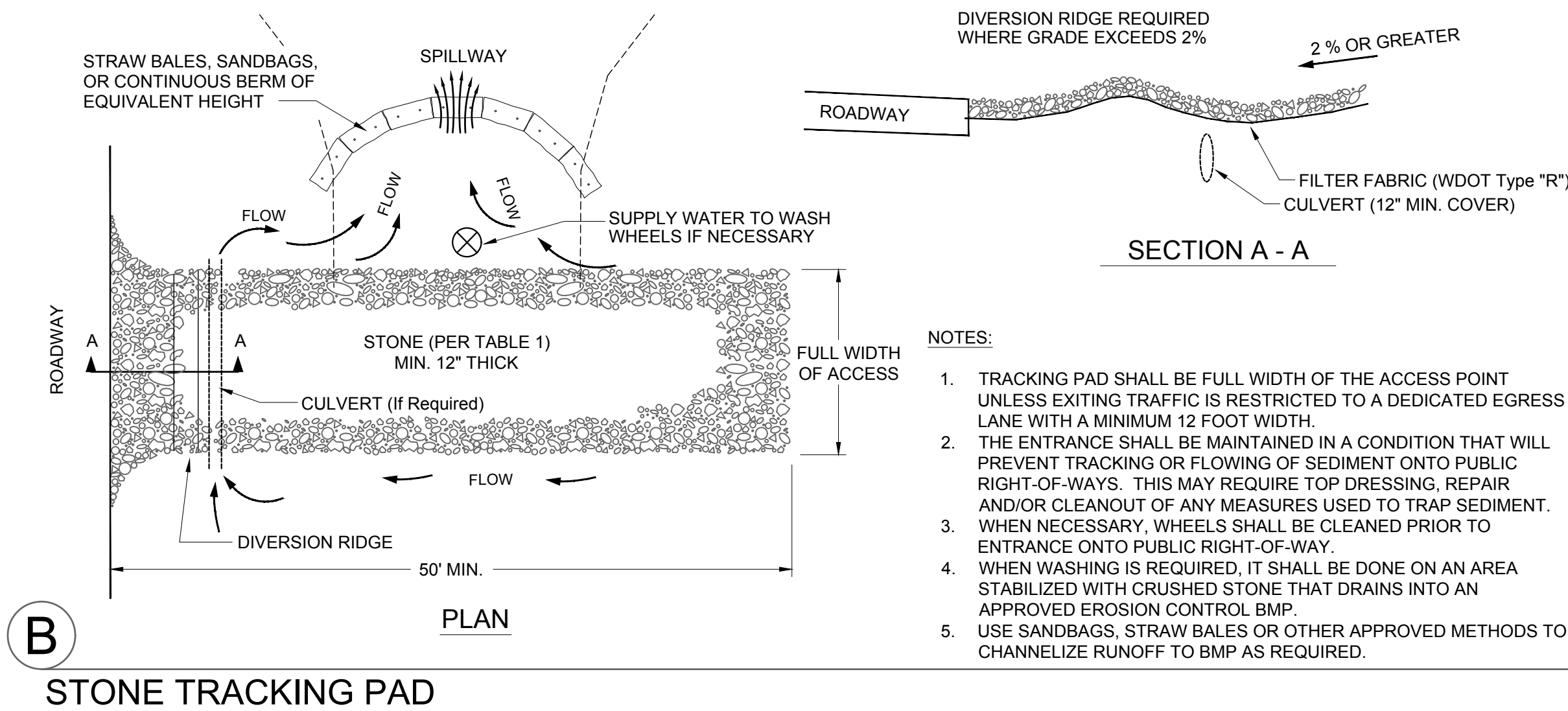


TABLE 1: GRADATION FOR STONE TRACKING PADS	
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5



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Proposed Building Addition For:

DESTINY CHURCH

DEPERE, WISCONSIN

DATE: 11/02/23
ARCH: K. SPERL
D. BY: RPH
JOB: 22-025
REV.

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ACS
Architectural &
Construction
Services, Inc.

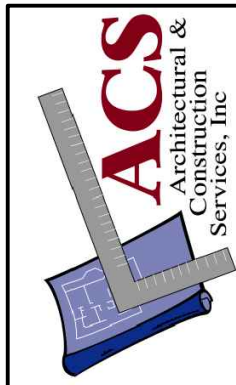
327 RANDOLPH DRIVE - SUITE C
APPLETON, WI 54913
TELE: 920-574-2657 FAX: 920-574-2660

R:\Jobs\2109-01-23 DESTINY CHURCH\DRAWINGS\2109-01-23 Eng.dwg 4/22/2024 12:57:31 PM

LANDSCAPE PLAN

SHEET KEY NOTES:

- HARDWOOD MULCH TO MATCH EXISTING
- PLANTINGS ON BERM REQUIRED TO BRING THE SITE INTO COMPLIANCE FROM PREVIOUS SITE PLAN APPROVAL



327 RANDOLPH DRIVE - SUITE C
APPLETON, WI 54913
TELE: 920-574-2657 FAX: 920-574-2660

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REV. CITY COMMENTS 2024-01-23

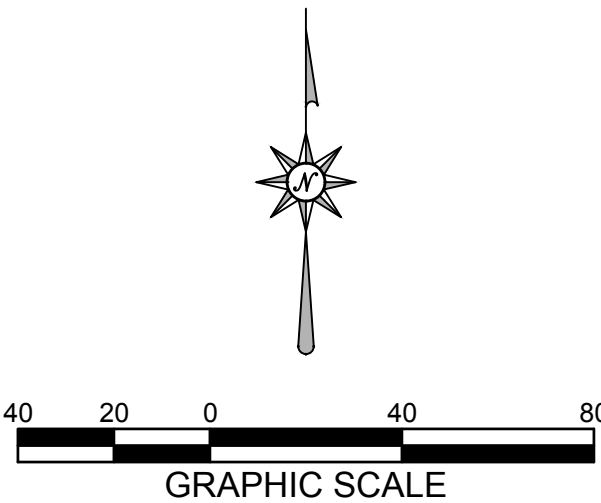
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PLANT TABLE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
	GOLDFLAME SPIRAEA	SPIRAEA X BUMALDA 'GOLDFLAME'	3	3 GAL.
	DAYLILIES	HEMEROCALLIS	6	1 GAL.
	GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GLOBE'	67	24"
	SUGAR MAPLE	ACER SACCHARUM	6	1 1/2"

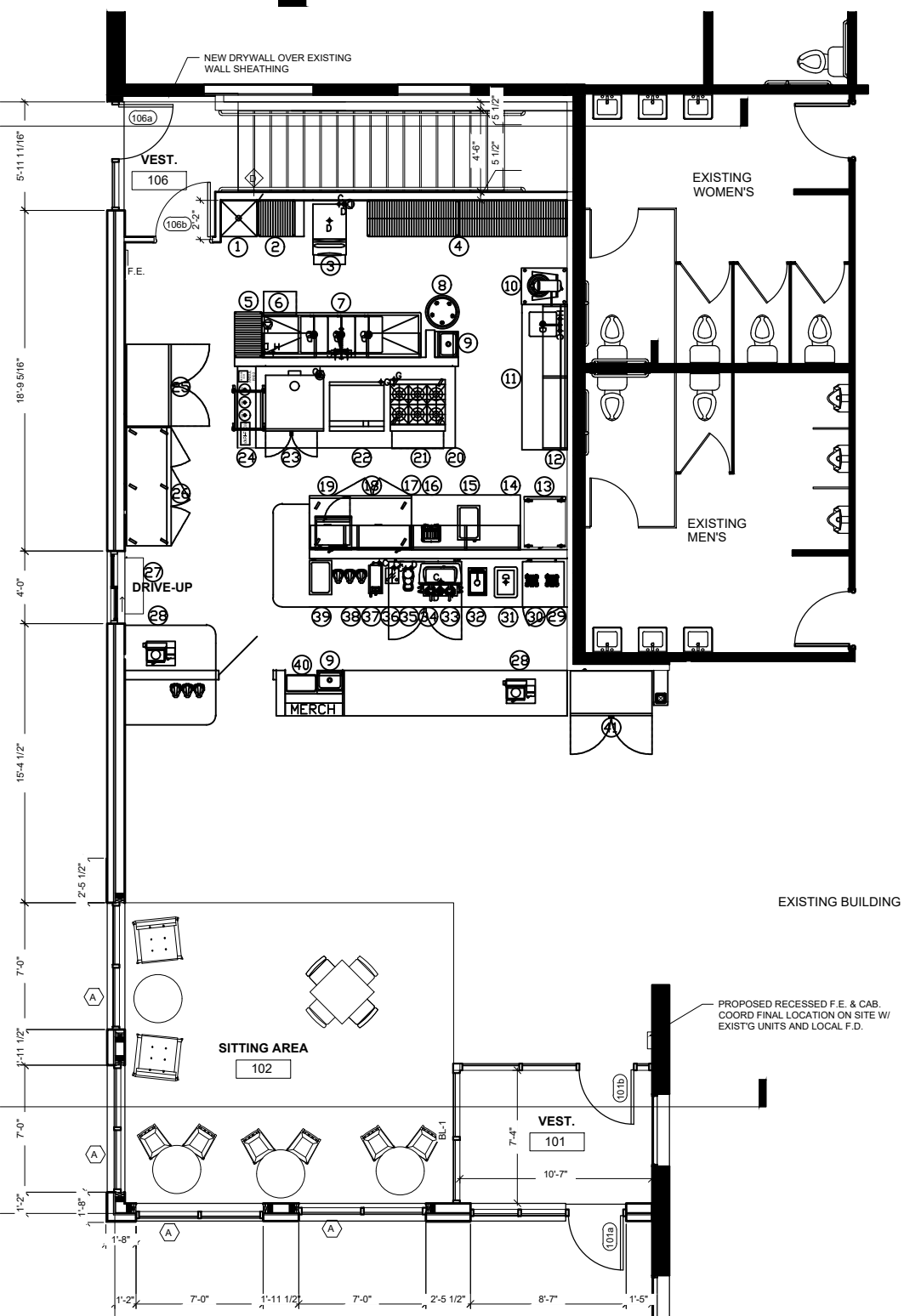
LANDSCAPE NOTES

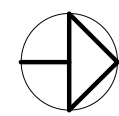
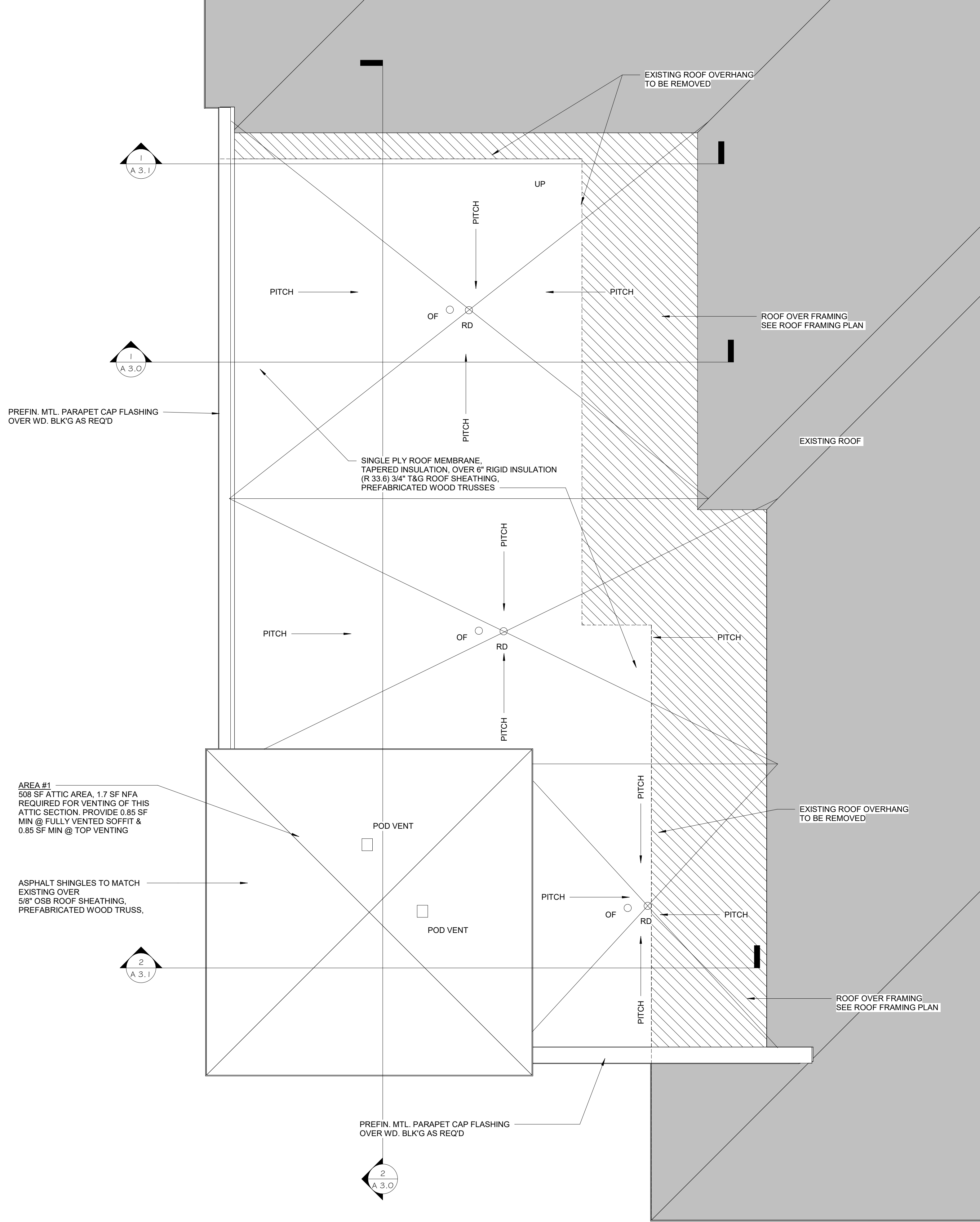
- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUND COVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.



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ROOF PLAN

Scale: 1/4" = 1'-0"

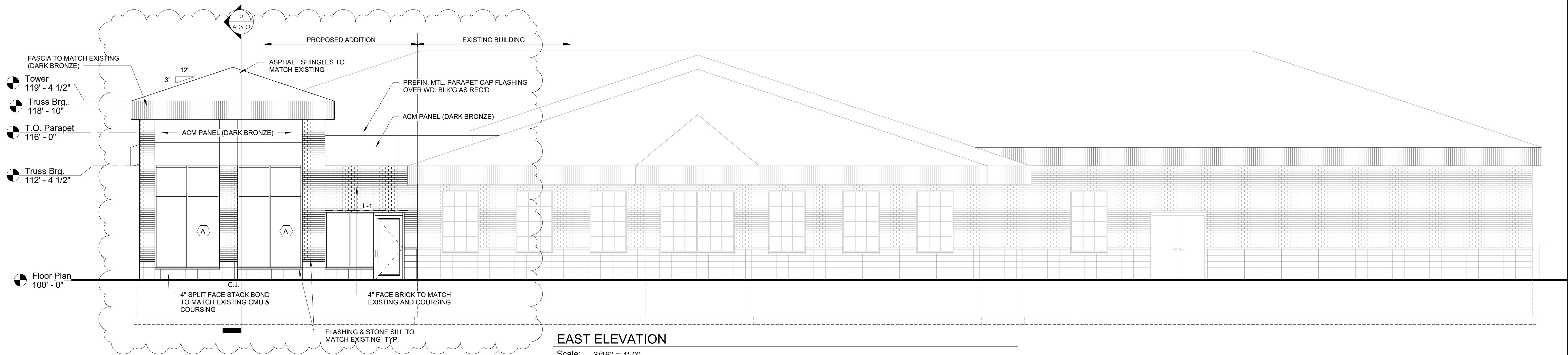
Proposed Building Addition For:

DESTINY CHURCH

DEPERE, WISCONSIN

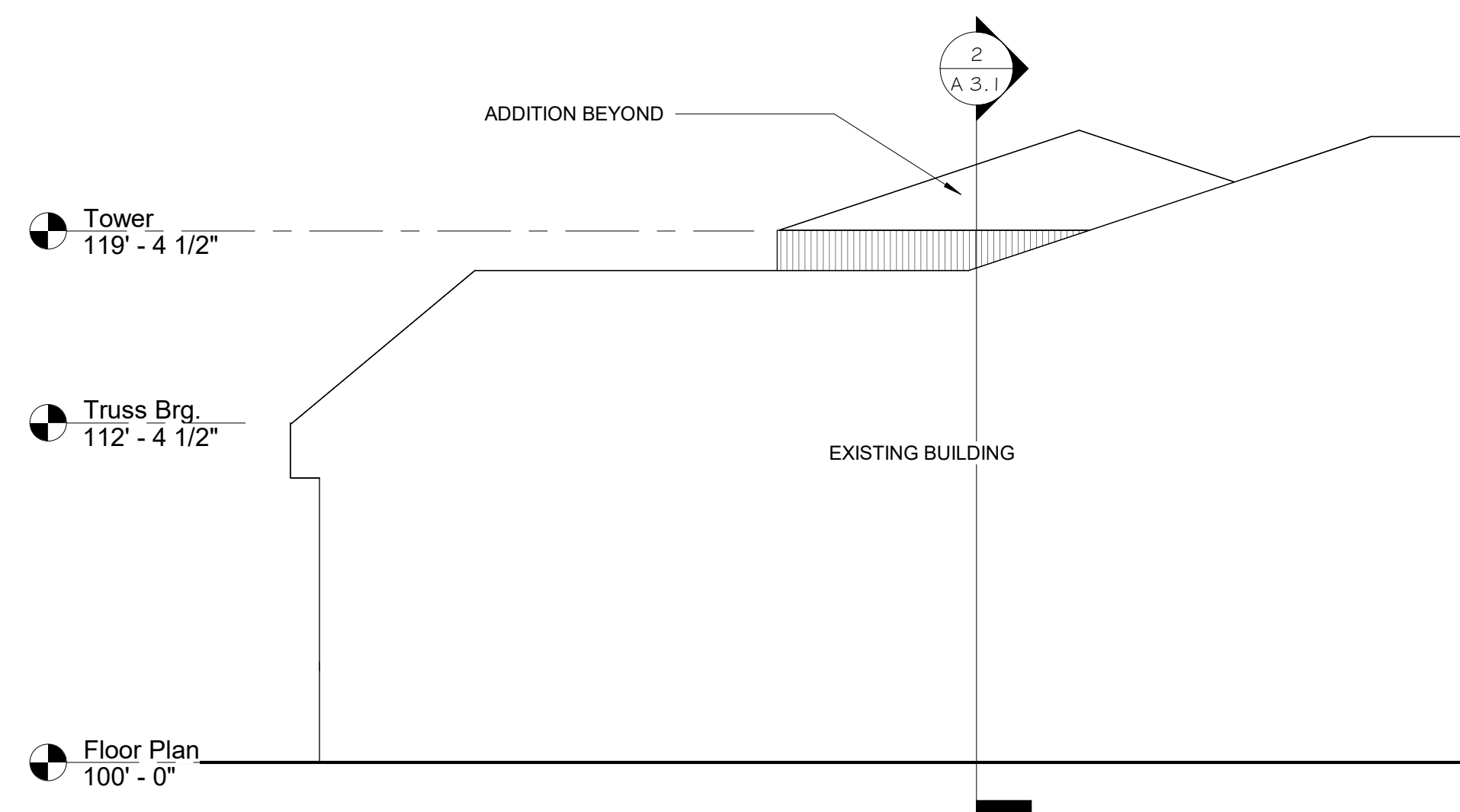
DATE: 12/14/23
ARCH: K. SPERL
D. BY: J. MILLER
JOB: 22-025
REV. #1 - 12-12-23 REVISED PER CITY PLAN REVIEW

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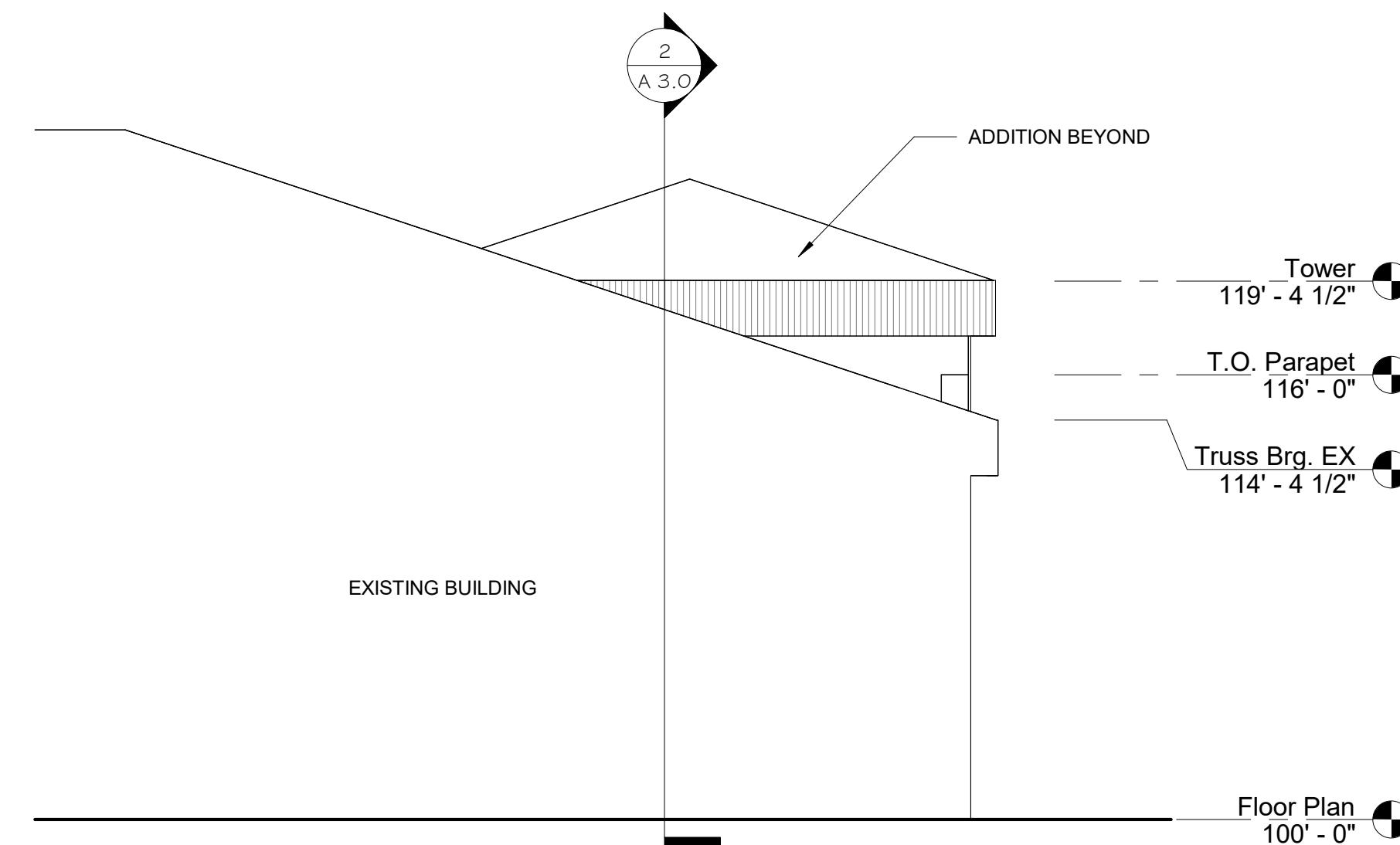
EAST ELEVATION

Scale: 3/16" = 1'-0"



NORTH ELEVATION

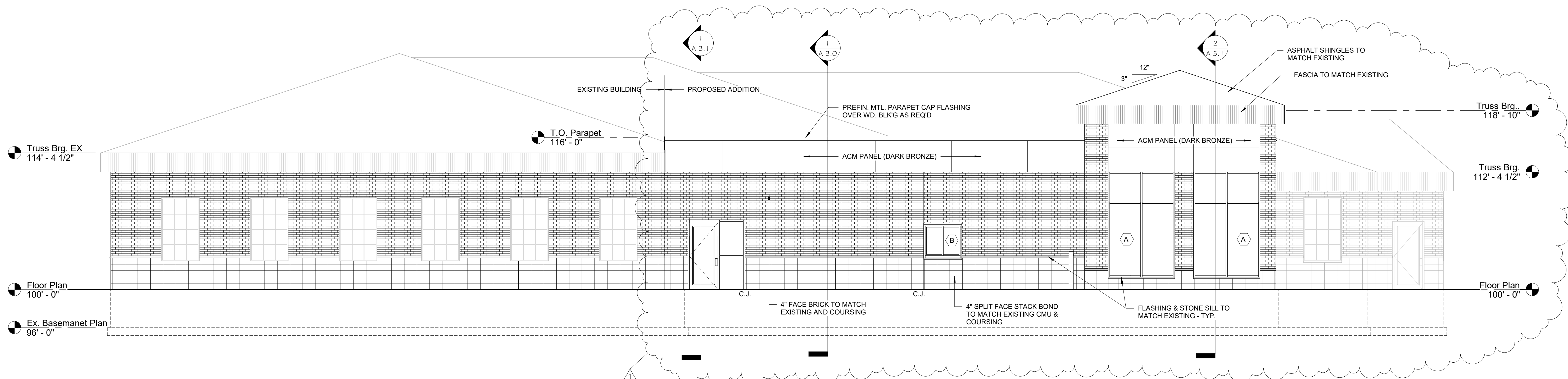
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WEST ELEVATION

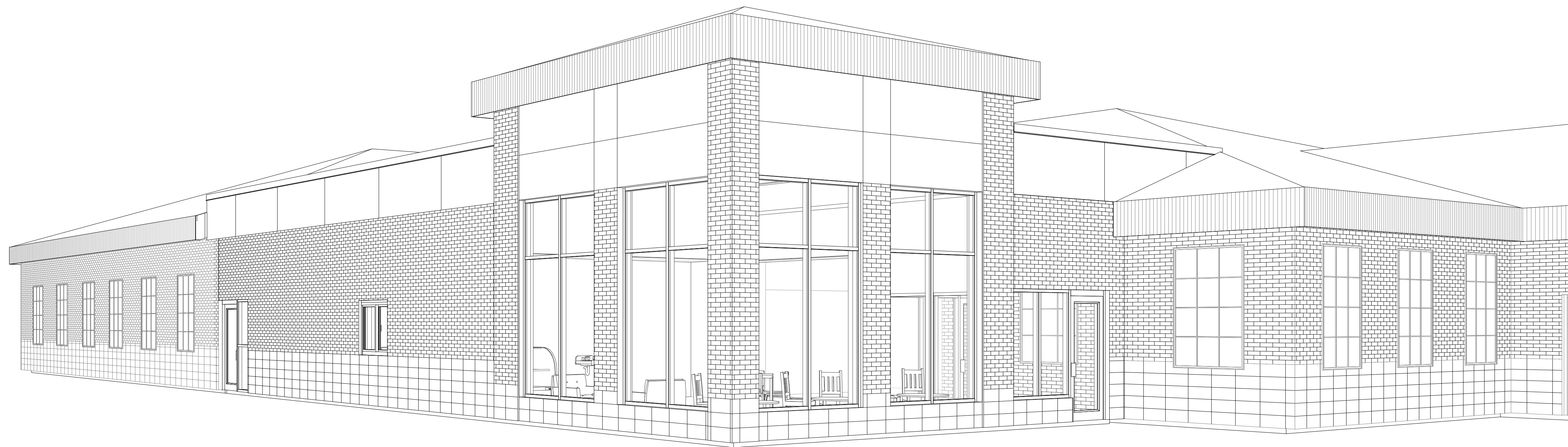
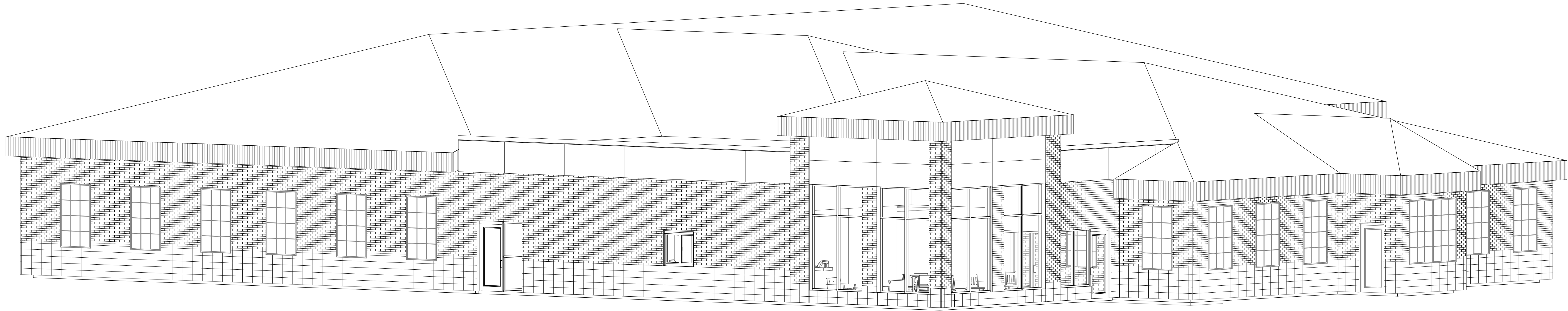
Scale: 3/16" = 1'-0"

NOTES:
- FINAL WALL SUBSTRATE AND AIR/MOISTURE BARRIER TO BE PER SELECTED ACM MANUFACTURER PRODUCT REQUIREMENTS
- ACM AND MASONRY CONTROL JOINTS PER SELECTED MANUFACTURER AND OR INSTALLING CONTRACTOR
- COURSING TO START WITH 2" SOAP AND OR MATCH EXISTING CMU & BRICK COURSING



SOUTH ELEVATION

Scale: 3/16" = 1'-0"



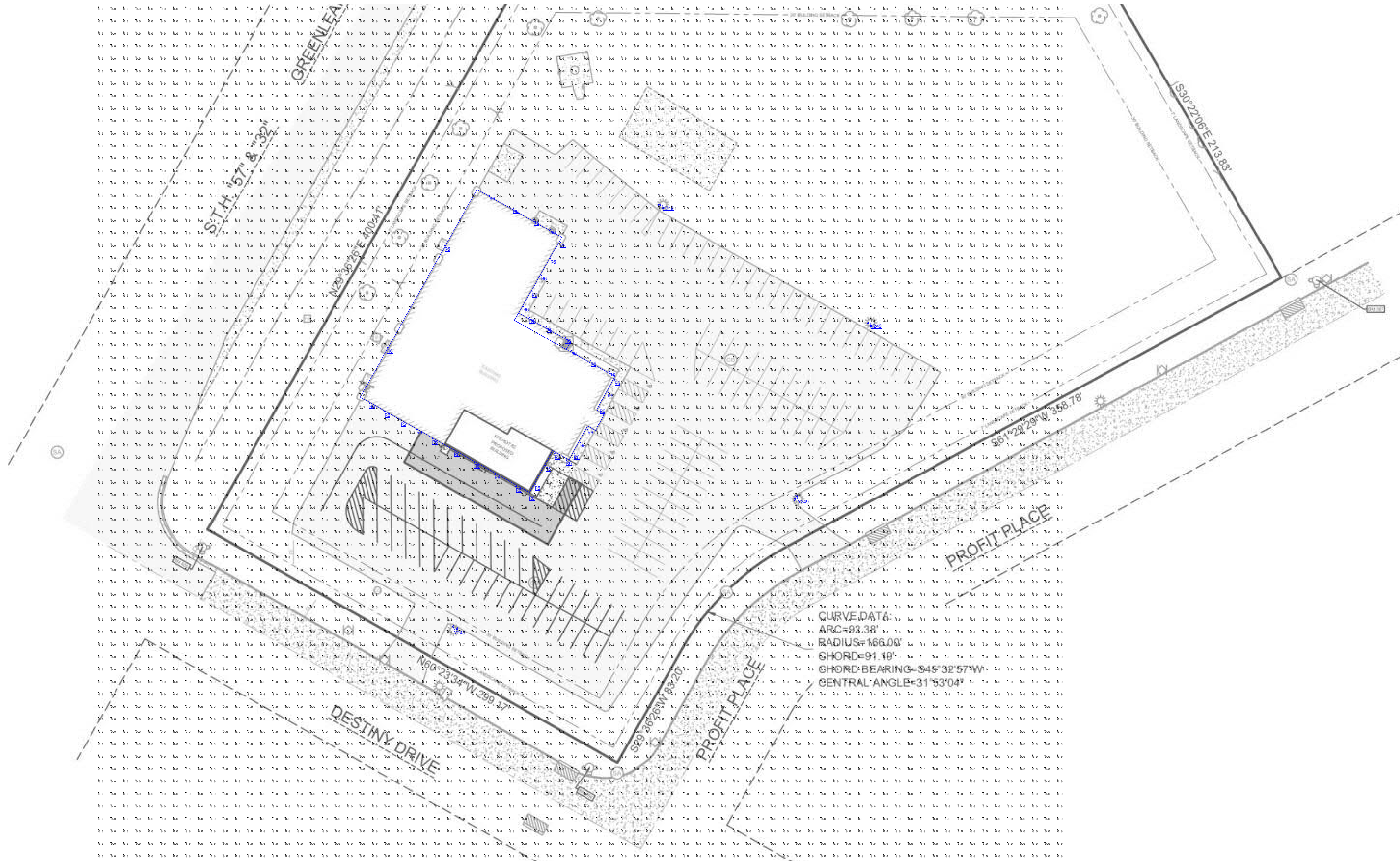
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Luminaire Schedule								
Symbol	Qty	Label	Tag	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts
☉	37	LEDRT5670093 OFL80 NAED 74291	R6	LEDRT56700	Single	0.900	772	9.430493
⚡	4	KT-ALED70- S2-OSA-NM- 840-VDIM	Y249	KT-ALED70-S2-OSA-NM-840-VDIM (T4) 120V type 4 distribution, tilted 15 degrees	2 @ 90 degrees	0.900	9758	67.79

REUSING EXISTING POLE LOCATIONS ONLY. PLAN HAS NOT BEEN VERIFIED TO MEET CITY SITE LIGHTING REQUIREMENTS.

1. STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE.
2. NOT A CONSTRUCTION DOCUMENT- FOR DESIGN PURPOSES ONLY.
3. STANDARD INDOOR CALC POINTS @ 30" AFF UNLESS NOTED OTHERWISE.
4. STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE.
5. EGRESS CALC POINTS @ 0'-0" AFF.
6. PHOTOMETRICS ARE ESTIMATED LIGHTING CALCULATIONS.
VIKING ELECTRIC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS.
7. VIKING ELECTRIC NOT RESPONSIBLE FOR FINAL REVIEW OF CODE REQUIREMENTS.